



CITY OF  
**FAYETTEVILLE**  
**ARKANSAS**

*113 W. Mountain St.  
Fayetteville, AR 72701*

**Board of Adjustment Agenda**

**City Hall Room 219  
Monday, March 2, 2026  
3:45 PM**

**Members**

***Chair Erin Adkins-Oury (Exp. 03/27)  
Vice Chair Jason Young (Exp. 03/28)  
Caroline Fox (Exp. 03/27)  
Peter Norman (Exp. 03/28)***

**City Staff**

***Planning Director Jessie Masters  
Assistant City Attorney Hannah Hungate***

## Zoom Information

**Webinar ID:** 846 9915 4470

**Registration Link:** [https://fayetteville-ar.zoom.us/webinar/register/WN\\_9qD5ewSxTJiBSPpMCpaoOg](https://fayetteville-ar.zoom.us/webinar/register/WN_9qD5ewSxTJiBSPpMCpaoOg)

## Call to Order

## Roll Call

### MINUTES:

Approval of the minutes from the November 3, 2025 meeting.

## Unfinished Business

## New Business

**2. BOA-2026-0001: Board of Adjustment (3610 W. WEDINGTON DR/SEVEN BREW, 401):**

Submitted by CEI ENGINEERING ASSOCIATES INC for property located at 3610 W. WEDINGTON DR. The property is zoned UT, URBAN THOROUGHFARE and contains 4.16 acres. The request is for a variance from minimum buildable street frontage requirements.

Planner: Donna Wonsower

## Announcements

## Adjournment

### NOTICE TO MEMBERS OF THE AUDIENCE

*All interested parties may appear and be heard at the public hearings. A copy of the proposed amendments and other pertinent data are open and available for inspection in the office of City Planning (479-575-8267), 125 West Mountain Street, Fayetteville, Arkansas. All interested parties are invited to review the petitions.*

*Interpreters or TDD (Telecommunication Device for the Deaf) are available for all public hearings; a 72-hour notice is required. For further information or to request an interpreter, please call 479-575-8330.*

*As a courtesy, please turn off all cell phones and pagers.*

**Board of Adjustment - Monday, November 3, 2025**

<b>Time:</b>	<b>In: 3:45 PM</b>	<b>Out: 5:05 PM</b>					
<b>Staff :</b>							
			<input checked="" type="checkbox"/>	Jessie Masters, Planning Director			
			<input checked="" type="checkbox"/>	Donna Wonsower, Senior Planner			
			<input type="checkbox"/>	Wesley Frank, Planner			
			<input type="checkbox"/>	Citlali Samano, Planner			
			<input type="checkbox"/>	Blake Pennington, Sr Assistant City Attorney			
			<input checked="" type="checkbox"/>	Hannah Hungate, Assistant City Attorney			
	<b>Roll Call</b>	<b>Meeting Minutes 10-6-2025</b>	<b>2) BOA-2025-0016 (3 STRANDS VENTURES LLC)</b>	<b>3) BOA-2025-0019 (PACKAGING SPECIALTIES INC)</b>			
<b>Keys</b>	<b>1</b>	<b>1</b>	<b>1</b>	<b>1</b>			
<b>Young</b>	<b>1</b>	<b>1</b>	<b>1</b>	<b>1</b>			
<b>Norman</b>	<b>1</b>	<b>1</b>	<b>1</b>	<b>1</b>			
<b>Fox</b>	<b>1</b>	<b>Abstain</b>	<b>1</b>	<b>1</b>			
<b>Adkins-Oury</b>	<b>1</b>	<b>1</b>	<b>1</b>	<b>1</b>			
<b>Agenda</b>			Old	New			
<b>Motion To:</b>		<b>Approve</b>	<b>Approve</b>	<b>Approve</b>			
<b>Motion By:</b>		Keys	Fox	Fox			
<b>Seconded:</b>		Young	Keys	Keys			
<b>Vote</b>		4-1-0	5-0-0	5-0-0			
<b>Notes</b>			With added condition - no setback variance N of the 100yr floodplain				
<b>Public Comment:</b>			1	0			



**TO:** Board of Adjustment

**THRU:** Jessie Masters, Planning Director

**FROM:** Donna Wonsower, Senior Planner

**MEETING DATE:** March 2, 2026

**SUBJECT:** **BOA-2026-0001: Board of Adjustment (3610 W. WEDINGTON DR/SEVEN BREW, 401):** Submitted by CEI ENGINEERING ASSOCIATES INC. for property located at 3610 W. WEDINGTON DR. The property is zoned UT, URBAN THOROUGHFARE and contains approximately 4.16 acres. The request is for a variance to minimum buildable street frontage requirements.

**RECOMMENDATION:**  
Staff recommends denial of **BOA-2026-0001**.

**RECOMMENDED MOTION:**  
*"I move to deny BOA-2026-0001."*

**BACKGROUND:**  
The subject property is in west Fayetteville at the intersection of W. Wedington Dr. and N. Golf Club Dr. directly south of the Links at Fayetteville apartment complex. The property is part of an 11.46-acre commercial development currently under construction, all within the Wedington Corridor Master Plan area. The property received its current zoning designation of UT, Urban Thoroughfare as a result of a rezoning in 2014 (ORD 5656). Surrounding land uses and zoning are depicted in *Table 1*.

**Table 1:  
Surrounding Land Uses and Zoning**

Direction	Land Use	Zoning
North	Multi-family Residential	RPZD, Residential Planned Zoning District
South	Church; Bank, Freight Company	R-A, Residential Agriculture; R-O, Residential Office
East	Mini-Storage	CS, Community Services
West	Restaurant	RPZD, Residential Planned Zoning District

**DISCUSSION:**  
*Request:* The applicant is requesting a variance to the build-to-zone requirement associated with the UT, Urban Thoroughfare zoning district. Typically, in Urban Form districts a building is required to be placed within the build-to-zone to meet the 50% minimum buildable street frontage (UDC § 161.22) as well as placed in both frontages of a corner lot (UDC § 164.06(D)(2)). The applicant is proposing to place no portion of the building in a build-to-zone.

**Table 2:  
Variance Request**

Variance Issue	Requirement	Proposal	Variance
Build-to-zone (W. Wedington Dr. and N. Golf Club Dr)	185 feet	0 feet	92.5 feet

Public Comment: Staff has not received any public comment at this time.

**RECOMMENDATION:** Staff recommends denial of BOA-2026-0001. Should the Board choose to approve this item, staff recommends the following conditions:

**Conditions of Approval:**

1. The principal façades of the proposed drive-through restaurant shall be oriented towards both W. Wedington Dr. and N. Golf Club Dr; and
2. Supplemental elements must be incorporated into the site design along the property’s frontage for minimum buildable street frontage as described in 164.06(F);
3. Pedestrian oriented elements per UDC 166.24(E) shall be required for the building façade as if it was located within the build-to-zone.
4. Pedestrian oriented elements per UDC 166.24(E) shall be required at the entrance of the private drive onto N. Golf Club Drive.
5. Approval of this variance is limited to the applicant’s request as described in this report, and
6. Approval of this variance does not grant approval of or entitlement to any other zoning or development variances.

<b>BOARD OF ADJUSTMENT ACTION:</b> <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> Tabled
<b>Date:</b> <u>October 6, 2025</u>
<b>Motion:</b>
<b>Second:</b>
<b>Vote:</b>

*City Plan 2040 Future Land Use Designation:* **Residential Neighborhood**

**FINDINGS OF THE STAFF**

**§156.02. ZONING REGULATIONS.**

Certain variances of the zoning regulations may be applied for as follows:

**B. Requirements for Variance Approval.**

1. Where strict enforcement of the zoning ordinance would cause undue hardship due to circumstances unique to the individual property under consideration; and

**Finding:** Staff finds that the applicant has not met the threshold for undue hardship as the request to not place a building within the appropriate build-to-zone and with the required length appears to stem from the design of the site rather than circumstances unique to subject property. The applicant is also proposing a building that is not adhering to the corner lot placement requirement by only fronting onto W. Wedington Dr. In UDC §164.05(D), the minimum buildable street frontage requirement shall be met by locating the principal faced of a building in both frontages – W. Wedington Dr. and N Golf Club Dr. In the proposal, the building is located to only front onto W. Wedington Dr. with a distance of 66.61 feet from the right-of-way along N. Golf Club Dr., not meeting the requirement of fronting both. Staff finds that the applicant has not given a site-specific reason as to why the building cannot meet the buildable street frontage requirement or a design which better fits the required placement of a corner lot. No alternative design has been submitted.

The UT zoning district requires a build-to-zone between 10 and 25 feet from the front property line along the length of the property's frontage. It also requires that portions of the building be located within the build-to-zone for at least 50% of the width of the property's frontage. That total would be 587 linear feet for a corner lot with a resulting in 293.5 feet of required minimum buildable street frontage. Staff is only able to waive the build-to-zone that is fully encumbered by easements, which reduced the amount to approximately 185 feet, requiring 92.5 feet of total buildable frontage. In this proposal, no portion of the building is located in the buildable frontage.

Further, the only structures proposed on site are a prefabricated drive-through restaurant and an associated outbuilding, which cumulatively compose approximately 11% of the property's frontage. Auto-oriented uses are required to locate a building within the build-to-zone and to make up the remainder of the minimum buildable street frontage requirement through the use of supplemental elements. No supplemental elements are indicated on the site plan, and it is unclear how the applicant intends to meet that requirement. Staff finds that another site design or the use of a non-prefabricated structure could better allow the applicant to meet the minimum buildable street frontage requirements.

2. Where the applicant demonstrates that the granting of the variance will be in keeping with the spirit and intent of the zoning ordinance.

**Finding:** Staff finds that granting the variance would not be in keeping with the spirit and intent of the zoning ordinance. The UT zoning district is designed to encourage a concentration of commercial and mixed-use development that enhances function and appearance along major thoroughfare. The UT zoning district further requires development in an urban form with buildings closer to the street to enhance the pedestrian interaction. Staff finds the requested

variance would not be aligned with the intent of the UT zoning district since it would allow the proposed building to be approximately 66 feet from N. Golf Club Drive, with no portion of a building within a buildable area of the build-to-zone. If approved, staff recommends that pedestrian oriented elements per UDC 166.24(E) shall be required along the principal facades of the building as if it was located within a build-to-zone, and at the entrance to the private street from N. Golf Club Dr.

- C. Minimum Necessary Variance.** The Board of Adjustment may only grant the minimum variance necessary to make possible the reasonable use of the applicant's land, building or structure.

**Finding:** Staff finds that the requested variance is not necessary to make reasonable use of the applicant's land or proposed building.

- D. Special Conditions.** In granting a zoning regulation variance, the Board of Adjustment may impose whatever special conditions found necessary to ensure compliance and to protect adjacent property.

**Finding:** Should the Board choose to approve this variance, staff has recommended conditions of approval as outlined above.

- E. Non-permitted Uses.** The Board of Adjustment may not grant, as a variance, any use in a zone that is not permitted under the zoning ordinance.

**Finding:** None are requested.

**BUDGET/STAFF IMPACT:**

None

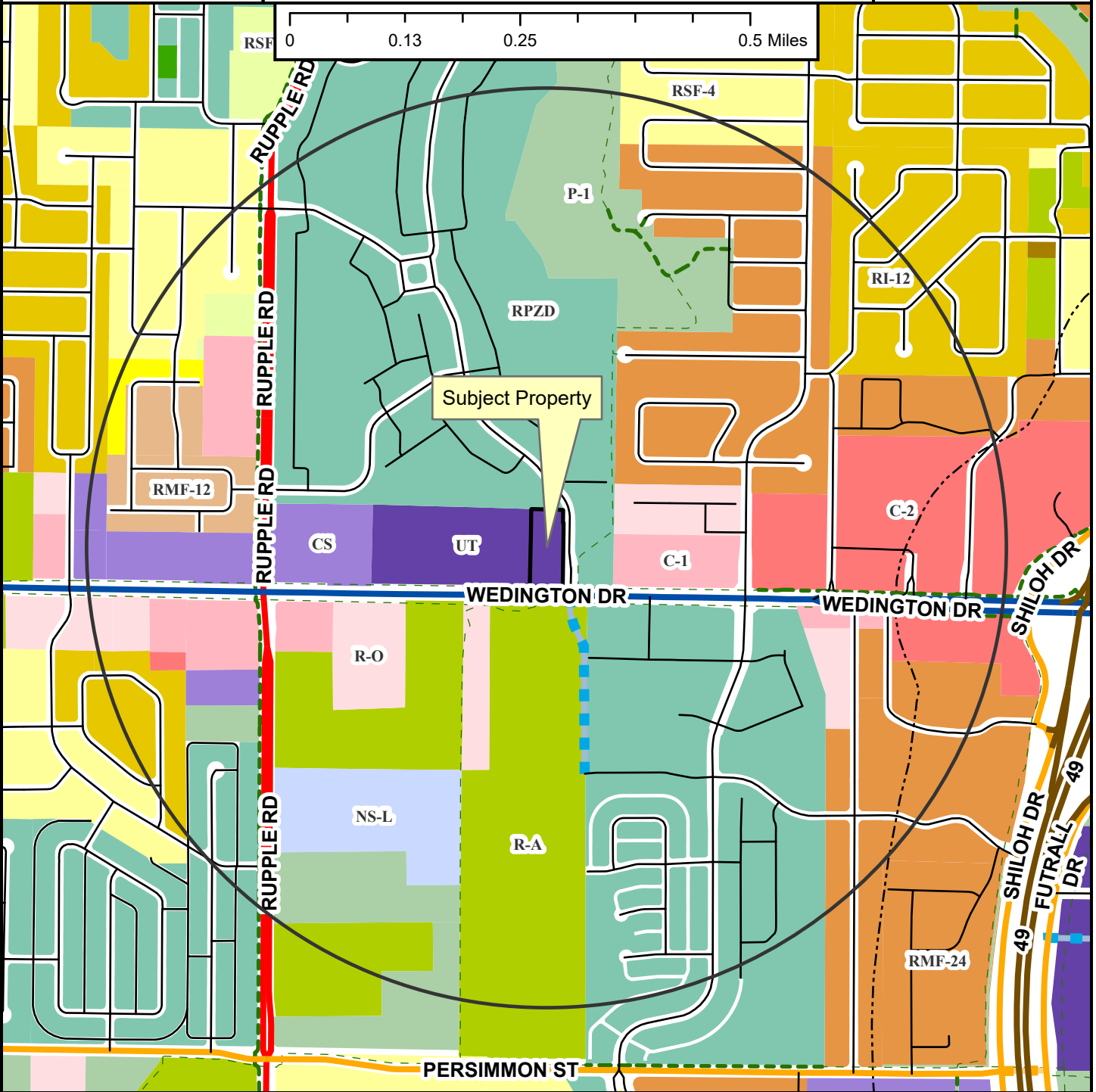
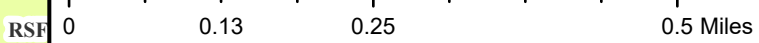
**ATTACHMENTS:**

- Unified Development Code
  - 161.24 Urban Thoroughfare
  - 164.06 Minimum Buildable Street Frontage
- Project Maps
  - One Mile Map
  - Close-Up Map
  - Current Land Use Map
- Request Letter
- Conceptual Site Plan
- Elevations

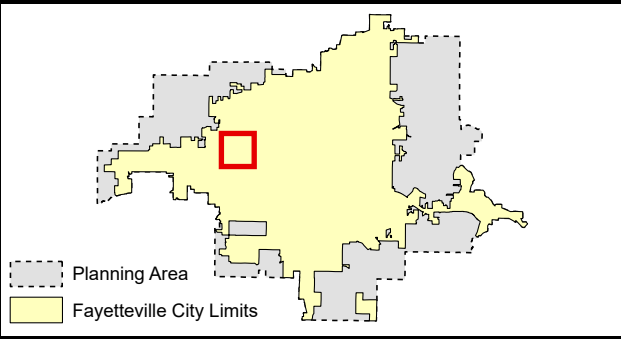
BOA-2026-0001

# 3610 W. WEDINGTON DR

One Mile View



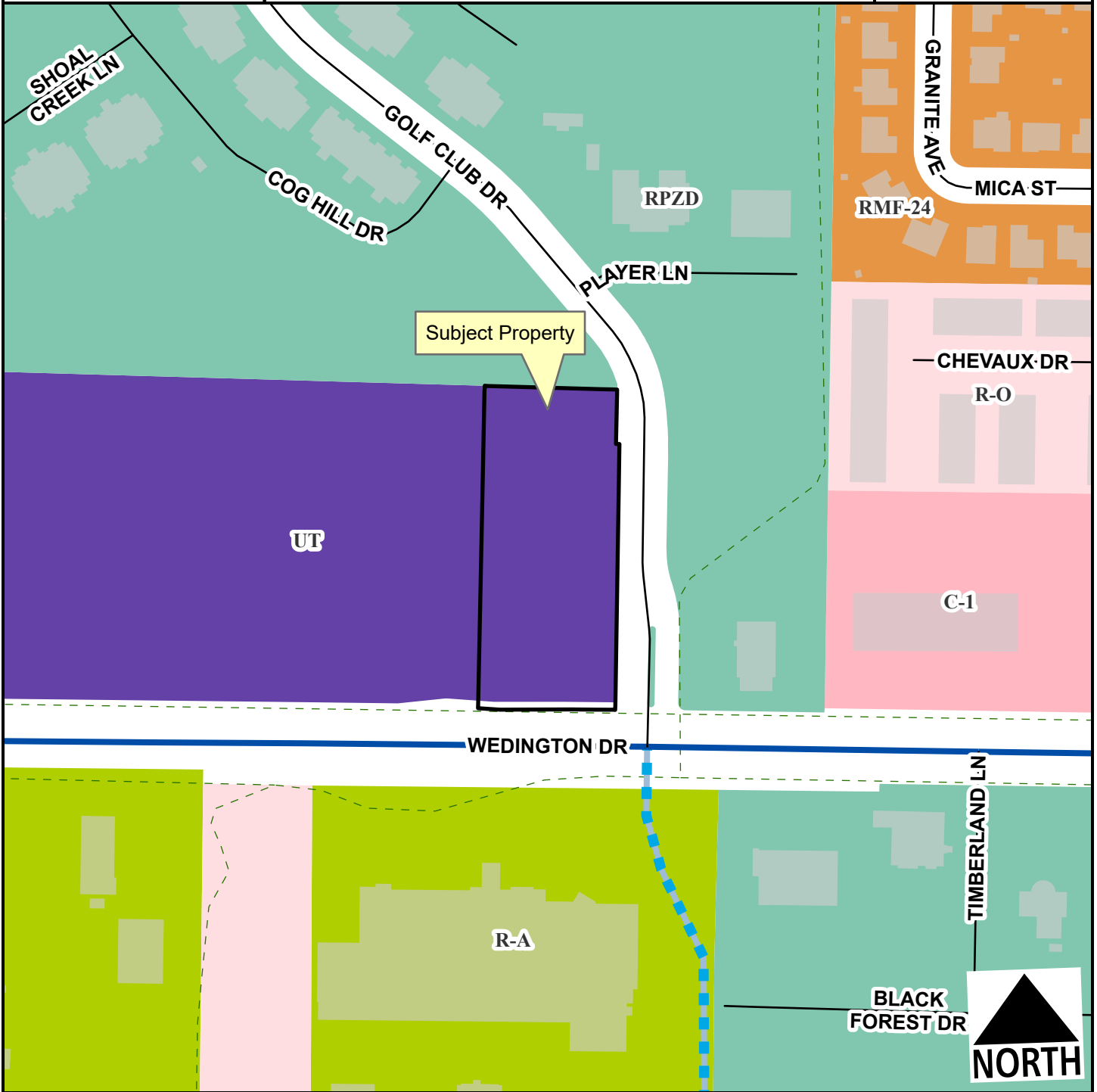
- Regional Link
- Neighborhood Link
- Regional Link - High Activity
- Freeway/Expressway
- Unclassified
- Alley
- Residential Link
- Planned Neighborhood Link
- Planned Residential Link
- Shared-Use Paved Trail
- - - Trail (Proposed)
- Design Overlay District
- Fayetteville City Limits
- Planning Area



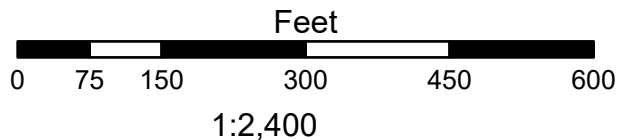
BOA-2026-0001

# 3610 W. WEDINGTON DR

Close Up View



- Regional Link - High Activity
- Unclassified
- Residential Link
- Planned Residential Link
- Planning Area
- Fayetteville City Limits
- Trail (Proposed)



BOA-2026-0001

# 3610 W. WEDINGTON DR



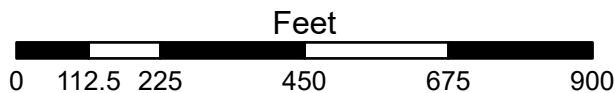
Zone A

Current Land Use



2025 Imagery | EagleView Technologies | Surdex Corporation

- Regional Link - High Activity
- Unclassified
- Residential Link
- Planned Residential Link
- Trail (Proposed)
- Planning Area
- Fayetteville City Limits



1:3,600

### FEMA Flood Hazard Data

- 100-Year Floodplain
- Floodway

Board of Adjustment  
March 2, 2026

Item 2

## 161.24 Urban Thoroughfare

- (A) *Purpose.* The Urban Thoroughfare District is designed to provide goods and services for persons living in the surrounding communities. This district encourages a concentration of commercial and mixed use development that enhances function and appearance along major thoroughfares. Automobile-oriented development is prevalent within this district and a wide range of commercial uses is permitted. For the purposes of Chapter 96: Noise Control, the Urban Thoroughfare district is a commercial zone. The intent of this zoning district is to provide standards that enable development to be approved administratively.
- (B) *Uses.*
- (1) *Permitted Uses.*

Unit 1	City-wide uses by right
Unit 4	Cultural and recreational facilities
Unit 5	Government facilities
Unit 8	Single-family dwellings
Unit 9	Two (2) family dwellings
Unit 10	Three (3) and four (4) family dwellings
Unit 13	Eating places
Unit 14	Hotel, motel and amusement services
Unit 16	Shopping goods
Unit 17	Transportation trades and services
Unit 18	Gasoline service stations and drive-in/drive-through restaurants
Unit 19	Commercial recreation, small sites
Unit 24	Home occupations
Unit 25	Offices, studios, and related services
Unit 26	Multi-family dwellings
Unit 34	Liquor store
Unit 40	Sidewalk cafes
Unit 41	Accessory Dwellings
Unit 44	Cluster Housing Development
Unit 45	Small scale production
Unit 46	Short-term rentals

Note: Any combination of above uses is permitted upon any lot within this zone. Conditional uses shall need approval when combined with pre-approved uses.

- (2) *Conditional Uses.*

Unit 2	City-wide uses by conditional use permit
Unit 3	Public protection and utility facilities
Unit 20	Commercial recreation, large sites
Unit 21	Warehousing and wholesale
Unit 28	Center for collecting recyclable materials
Unit 29	Dance halls
Unit 33	Adult live entertainment club or bar
Unit 35	Outdoor music establishments
Unit 36	Wireless communication facilities
Unit 38	Mini-storage units
Unit 42	Clean technologies
Unit 43	Animal boarding and training
Unit 48	Private dormitories

- (C) *Density.* None
- (D) *Bulk and Area Regulations.*

(1) *Lot Width Minimum.*

Single-family dwelling	18 feet
All other dwellings	None
Non-residential	None

(2) *Lot area minimum.* None

(E) *Setback regulations.*

Front:	A build-to zone that is located between 10 feet and a line 25 feet from the front property line.
Side and rear:	None
Side or rear, when contiguous to a single-family residential district:	15 feet

(F) *Building Height Regulations.*

Building Height Maximum	5 stories/7 stories*
-------------------------	----------------------

\* A building or a portion of a building that is located between 10 and 15 feet from the front property line or any master street plan right-of-way line shall have a maximum height of five (5) stories. A building or portion of a building that is located greater than 15 feet from the master street plan right-of-way shall have a maximum height of seven (7) stories.

If a building exceeds the height of two (2) stories, the portion of the building that exceeds two (2) stories shall have an additional setback from any boundary line of an adjacent single family district. The amount of additional setback for the portion of the building over two (2) stories shall be equal to the difference between the total height of that portion of the building, and two (2) stories.

**(G) *Minimum buildable street frontage. 50% of the lot width.***

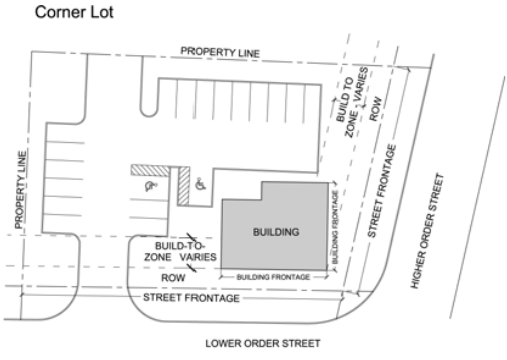
(Ord. No. 5312, 4-20-10; Ord. No. 5339, 8-3-10; Ord. No. 5353, 9-7-10; Ord. No. 5462, 12-6-11; Ord. No. 5592, 6-18-13; Ord. No. 5664, 2-18-14; Ord. No. 5735, 1-20-15; Ord. No. 5800, §1(Exh. A), 10-6-15; Ord. No. 5921, §1, 11-1-16; Ord. No. 5945, §§5, 7, 8, 1-17-17; Ord. No. 6015, §1(Exh. A), 11-21-17; Ord. No. 6223, §1, 9-3-19; Ord. No. 6427, §§1(Exh. C), 2, 4-20-21; Ord. No. 6879, §2, 5-20-25)

Editor's note(s)—Ord. No. 6888, §1, adopted June 17, 2025 determines that Ordinance 6427 (Sunset Clause), Ordinance 6625 (extending Sunset Clause), Ordinance 6710 (extending the Sunset Clause), and Ordinance 6820 (extending the Sunset Clause) be amended so that Ordinance 6427 and all amendments to Code Sections ordained or enacted by Ordinance 6427 shall automatically sunset, be repealed and become void on November 30, 2025 unless prior to that time and date the City Council amends this ordinance to repeal or further amend this sunset, repeal and termination section.

**164.06 Minimum Buildable Street Frontage**

(A) *Purpose.* The purpose of minimum buildable street frontage regulations is to ensure traditional town form by locating buildings and structures in the build-to zone adjacent to the street.

...



(D) *Corner Lot.*

- (1) Calculated by summing the linear distance of two (2) intersecting streets adjacent to the lot and applying the minimum buildable street frontage requirement of the underlying zoning district to the total.
- (2) The minimum buildable street frontage requirement shall be met by locating the principal façades of the primary structure in the build-to zone at the intersection of the two streets measured for the purposes of a corner lot.
- (3) If the minimum buildable street frontage requirement cannot be met supplemental elements shall be required and shall not exceed 25% of the minimum buildable street frontage requirement.

...

(E) *Standards for Auto-Oriented Facilities.* The intent of this section is to provide design standards for auto-oriented facilities in urban zoning districts. Auto-oriented developments such as fueling stations with convenience stores and drive-thru restaurants and banks utilize site development patterns that allocate a large percentage of the site area for vehicular movement and a necessarily smaller portion for the business structure. Urban zoning districts are designed to require traditional town form and the following standards are provided in an effort to achieve an improved development form for auto-oriented facilities.

- (1) *Drive-Thru Facilities.*
  - (a) Auto-oriented developments that generate the majority of their business from a drive-in/drive-thru format shall make every effort but shall not be required to meet the minimum buildable street frontage requirement of the underlying zoning district.
  - (b) These facilities shall locate the building's principal façade within the build-to zone. Supplemental elements shall be utilized to make up the remaining minimum buildable street frontage requirement for the development site.

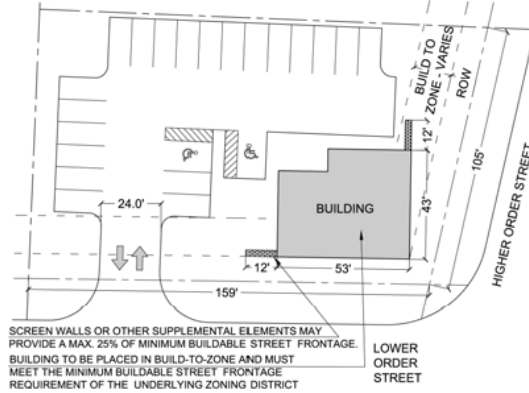
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(F) *Supplemental Elements.* A supplemental element that is utilized for meeting the minimum buildable street frontage requirement shall consist of at least one of the following, in addition to other required open spaces or pedestrian-oriented elements:

- (1) A masonry screen wall between 32 inches and 42 inches in height constructed with materials similar to the principal structure and a 50% minimum opacity;

**Corner Lot Example**

CALCULATE BY SUMMING THE LINEAR DISTANCE OF THE TWO INTERSECTING STREETS ADJACENT TO THE LOT, MINUS THE DRIVEWAY THROAT WIDTH. THEN APPLY THE MINIMUM BUILDABLE STREET FRONTAGE OF THE UNDERLYING ZONING DISTRICT. IF THE UNDERLYING BUILDING FRONTAGE CANNOT BE MET, 25% MAY BE A SUPPLEMENTAL ELEMENT. SEE ORDINANCE FOR FURTHER INFORMATION.



- (2) Functional outdoor space with an overhead structure and a minimum depth of six feet, such as a porch, outdoor dining area or courtyard;
- (3) A colonnade with a minimum depth of 8 feet and a minimum height of 10 feet.
- (4) Other similar features meeting the intent of this subsection, subject to the approval of the Zoning and Development Administrator.

...

(Code 1991, §160.080; Code 1965, App. A, Art. 7(5); Ord. No. 1747, 6-29-70; Ord. No. 2380, 9-20-77; Ord. No. 5348, 9-7-10; Ord. No. 5592, 06-18-13)



January 23, 2026,

City of Fayetteville  
Planning Commission  
113 West Mountain St.  
Fayetteville, AR 72701  
479.575.8267

**Re: 7Brew Development – Variance Request  
N. Golf Club Dr. & W. Wedington Dr. Fayetteville, AR 72704  
Situs Address: 3610 Fayetteville Dr. Fayetteville, AR 72704**

Board of Adjustments,

On behalf of the 7Brew Development Team, CEI Engineering respectfully requests a variance from the build-to zone requirements outlined in the City of Fayetteville's Unified Development Code. Specifically, this request pertains to the standards established under Chapter 71B, which regulate building placement relative to the designated build-to line. The proposed site design cannot fully comply with these requirements due to unique operational and site constraints; therefore, we seek relief to allow a modified building setback that maintains the intent of the ordinance while ensuring safe and efficient site functionality.

The proposed development is an approximately 510sqft drive-thru coffee shop with an 86 sq ft. remote cooler, proposed dual drive thru lanes with pass-thru, and associated utility and landscape improvements. The site design currently meets the requirements for the build to zone on W. Wedington Dr.; however, due to a significant portion of the build to zone at the corner of Wedington Dr. and Golf Club Dr. being fully encompassed by a drainage easement, we are unable to place the building inside of the build to zone.

Per the Technical plat meeting held with City Staff on December 17, 2025, it was brought to attention that due to a portion of the build to zone on N. Golf Club Dr. being outside of the drainage easement, that an administrative exemption is not possible for the build to zone since there is technically a portion that is buildable on.

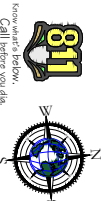
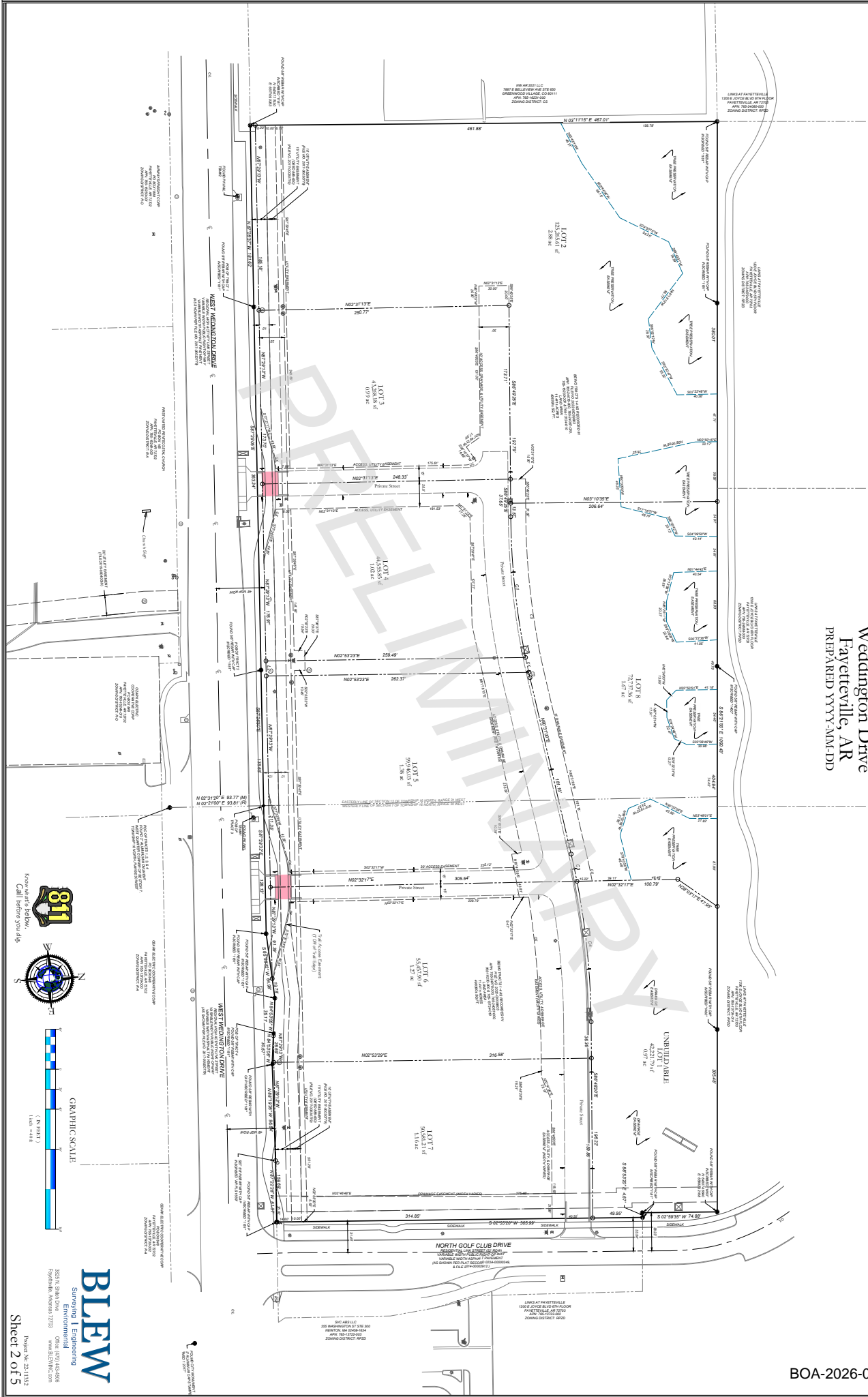
We are requesting a variance to Chapter 71B Build to Zone requirements for the site, specifically the N. Golf Club Dr. Build to Zone. This will allow for 7Brew operations to serve the business model needs for site and operation functionality.

Please find enclosed our application and supplemental documents for consideration, including development plans. Please do not hesitate to reach out to our office should any additional needs arise.

Respectfully Submitted,

Erin Dudley, Project Manager  
[edudley@ceieng.com](mailto:edudley@ceieng.com)  
**CEI Engineering Associates, Inc**  
Firm: 118

**FINAL PLAT**  
**Fortitude Subdivision**  
 Weddington Drive  
 Fayetteville, AR  
 PREPARED YYYY-MM-DD



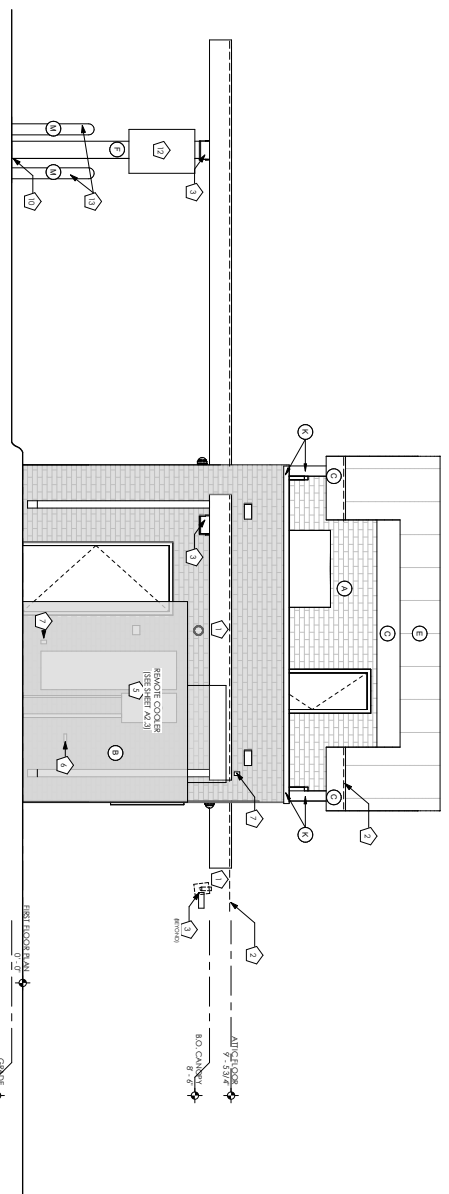
**BLEW**  
 Surveying | Engineering  
 Environmental | Planning  
 2025 N. University Blvd.  
 Fayetteville, Arkansas 72703  
 Phone: 479-321-1133

Sheet 2 of 5

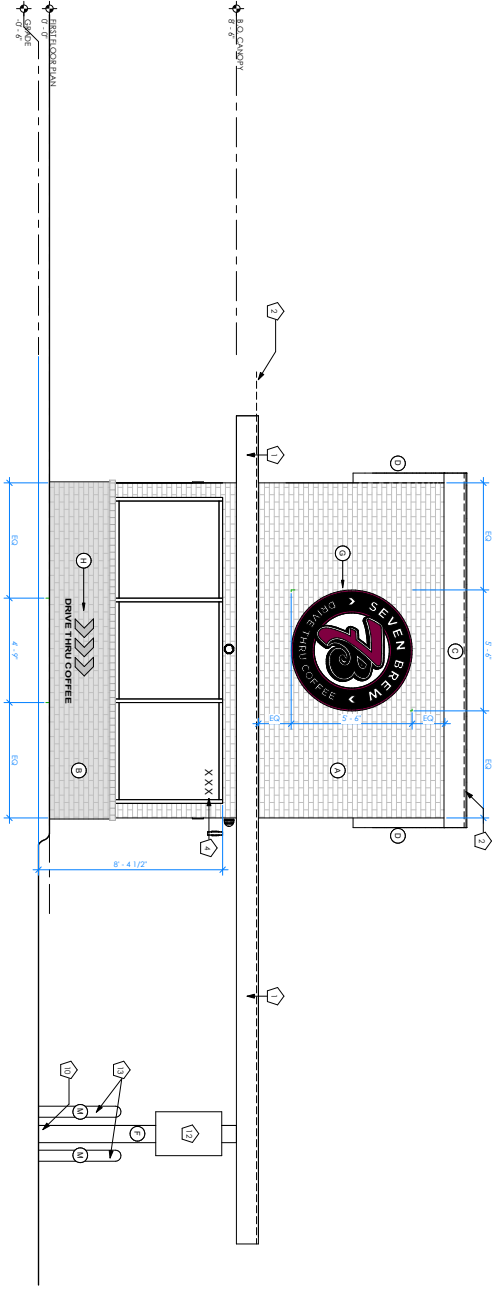
Board of Adjustment  
 March 2, 2026  
 Item 2  
 BOA-2026-001 (SEVEN BREW)  
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**2** EXTERIOR ELEVATION  
3/8" = 1'-0"



**1** EXTERIOR ELEVATION  
3/8" = 1'-0"

**EXTERIOR MATERIALS LEGEND**

MARK	DESCRIPTION
A	ZINCEL BRICK P-21
B	ZINCEL BRICK P-11
C	SEVEN 7 BREW DRIVE THRU SIGNAGE
D	SEVEN 7 BREW DRIVE THRU SIGNAGE
E	SEVEN 7 BREW DRIVE THRU SIGNAGE
F	SEVEN 7 BREW DRIVE THRU SIGNAGE
G	SEVEN 7 BREW DRIVE THRU SIGNAGE
H	SEVEN 7 BREW DRIVE THRU SIGNAGE
I	SEVEN 7 BREW DRIVE THRU SIGNAGE
J	SEVEN 7 BREW DRIVE THRU SIGNAGE
K	SEVEN 7 BREW DRIVE THRU SIGNAGE
L	SEVEN 7 BREW DRIVE THRU SIGNAGE
M	SEVEN 7 BREW DRIVE THRU SIGNAGE

**EXTERIOR ELEVATION KEYNOTES**

KEYNOTE	DESCRIPTION
1	SEE ELECTRICAL GENERAL NOTES
2	SEE ELECTRICAL GENERAL NOTES
3	SEE ELECTRICAL GENERAL NOTES
4	SEE ELECTRICAL GENERAL NOTES
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10	SEE ELECTRICAL GENERAL NOTES
11	SEE ELECTRICAL GENERAL NOTES
12	SEE ELECTRICAL GENERAL NOTES
13	SEE ELECTRICAL GENERAL NOTES

**EXTERIOR ELEVATION GENERAL NOTES**

1. COMPONENT LOCATION AND POWER REQUIREMENT OF ALL ELECTRICAL EQUIPMENT WITHIN/ON DRAWINGS.
2. BRICK MANUFACTURER, TYPE AND COLOR ARE SUBJECT TO CHANGE. CONSULT WITH MATERIAL SUPPLIER FOR CURRENT INFORMATION.

**PREFABRICATED BUILDING SHEETS**

THIS DRAWING IS BEING PREPARED AS A GENERAL REFERENCE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

**7 BREW DRIVE-THRU**

WEDINGTON DRIVE & N GOLF CLUB  
DRIVE FAYETTEVILLE AR 72704

No.	Description	Date

**A2.0**  
EXTERIOR  
ELEVATIONS

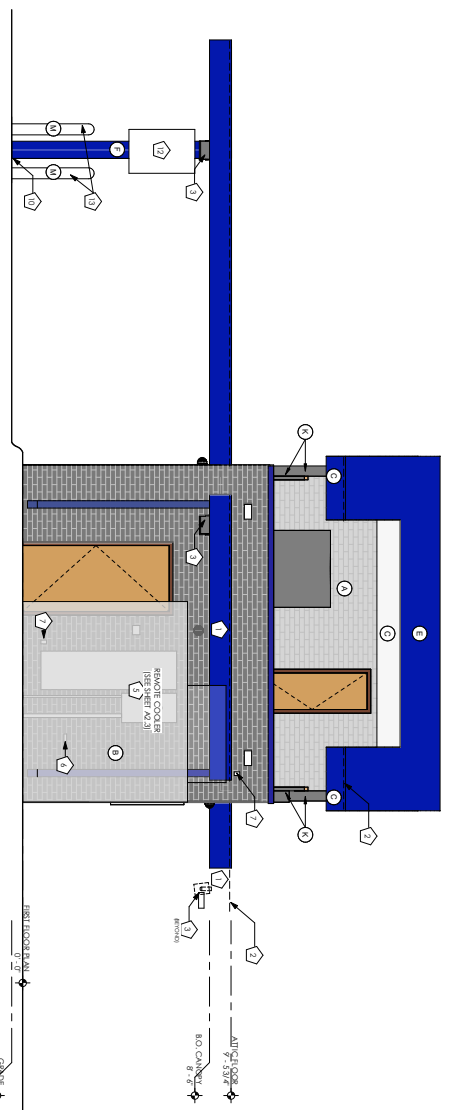
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Date: 9/5/2025 12:42:52 PM

STATE OF ARKANSAS  
REGISTERED PROFESSIONAL ARCHITECT  
MICHAEL S. HARRIS  
No. 14459  
Exp. 12/31/2026

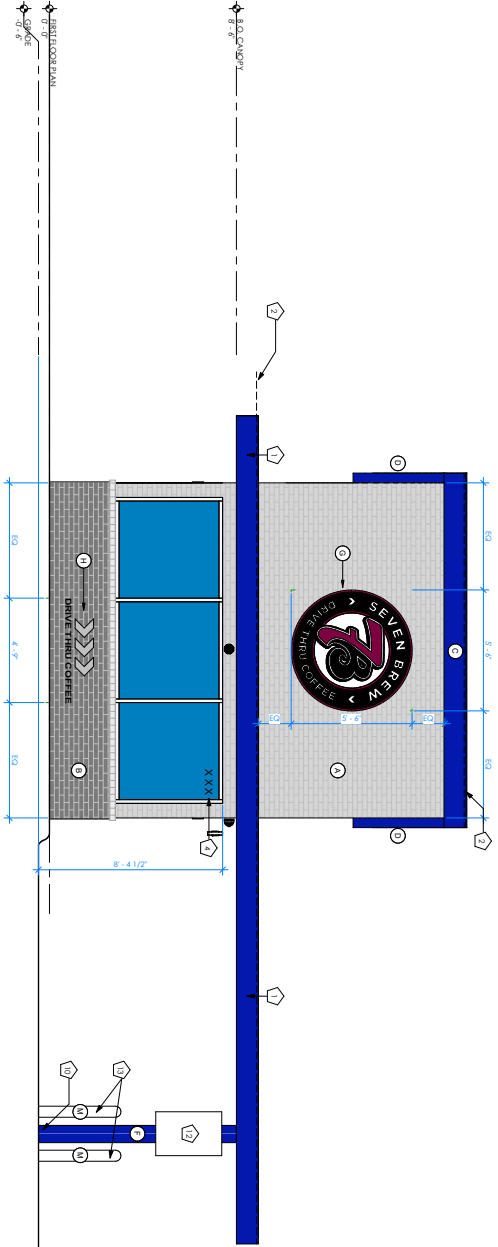
**SEVEN 7 BREW**  
DRIVE THRU COFFEE

City of Adjustment  
March 2, 2026  
Item 2  
BOA-2026-0001 (SEVEN BREW)  
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**2 WEST EXTERIOR ELEVATION**  
3/8" = 1'-0"



**1 EAST EXTERIOR ELEVATION**  
3/8" = 1'-0"

**EXTERIOR MATERIALS LEGEND**

MARK	DESCRIPTION
A	ZINNE BRICK F-21
B	ZINNE BRICK F-11
C	SEVEN 7 BREW DRIVE THRU SIGNAGE
D	SEVEN 7 BREW DRIVE THRU SIGNAGE
E	SEVEN 7 BREW DRIVE THRU SIGNAGE
F	SEVEN 7 BREW DRIVE THRU SIGNAGE
G	SEVEN 7 BREW DRIVE THRU SIGNAGE
H	SEVEN 7 BREW DRIVE THRU SIGNAGE
I	SEVEN 7 BREW DRIVE THRU SIGNAGE
J	SEVEN 7 BREW DRIVE THRU SIGNAGE
K	SEVEN 7 BREW DRIVE THRU SIGNAGE
L	SEVEN 7 BREW DRIVE THRU SIGNAGE
M	SEVEN 7 BREW DRIVE THRU SIGNAGE

**EXTERIOR ELEVATION KEYNOTES**

1. SEE EXTERIOR GENERAL NOTES AND DRAWINGS FOR ALL ELECTRICAL EQUIPMENT.
2. SEE EXTERIOR GENERAL NOTES AND DRAWINGS FOR ALL ELECTRICAL EQUIPMENT.
3. SEE EXTERIOR GENERAL NOTES AND DRAWINGS FOR ALL ELECTRICAL EQUIPMENT.
4. SEE EXTERIOR GENERAL NOTES AND DRAWINGS FOR ALL ELECTRICAL EQUIPMENT.
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10. SEE EXTERIOR GENERAL NOTES AND DRAWINGS FOR ALL ELECTRICAL EQUIPMENT.
11. SEE EXTERIOR GENERAL NOTES AND DRAWINGS FOR ALL ELECTRICAL EQUIPMENT.
12. SEE EXTERIOR GENERAL NOTES AND DRAWINGS FOR ALL ELECTRICAL EQUIPMENT.
13. SEE EXTERIOR GENERAL NOTES AND DRAWINGS FOR ALL ELECTRICAL EQUIPMENT.

**EXTERIOR ELEVATION GENERAL NOTES**

1. COMPONENT LOCATION AND POWER REQUIREMENT OF ALL ELECTRICAL EQUIPMENT WITHIN DRAWINGS.
2. BRICK MANUFACTURER, TYPE AND COLOR ARE SUBJECT TO CHANGE. CONSULT WITH MANUFACTURER FOR CURRENT CHANGES AND ARCHITECT.

**PREFABRICATED BUILDING SHEETS**

THIS DRAWING IS BEING PREPARED AS A GENERAL REFERENCE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

**7 BREW DRIVE-THRU**

WEDINGTON DRIVE & N GOLF CLUB  
DRIVE FAYETTEVILLE AR 72704

No.	Description	Date

**A2.0**  
EXTERIOR  
ELEVATIONS

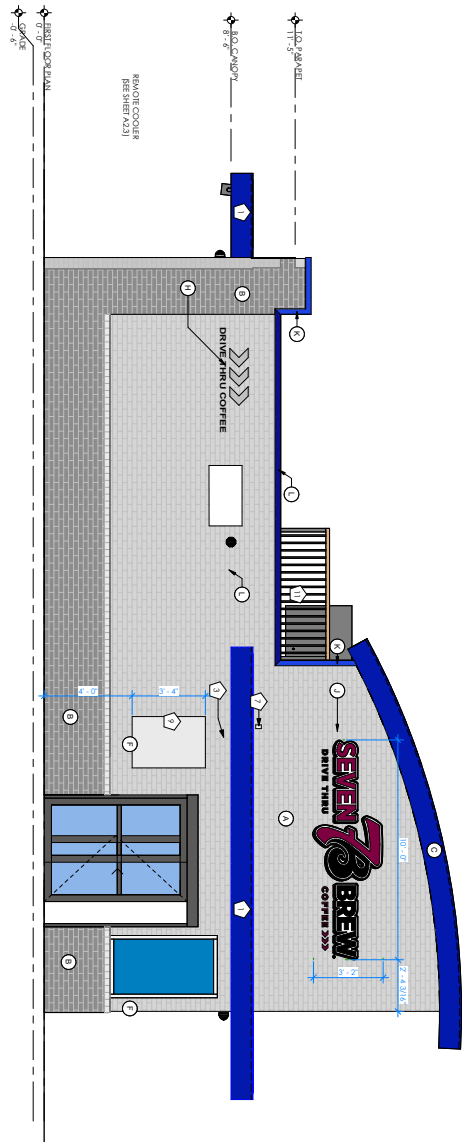
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REGISTERED PROFESSIONAL ARCHITECT  
STATE OF ARKANSAS

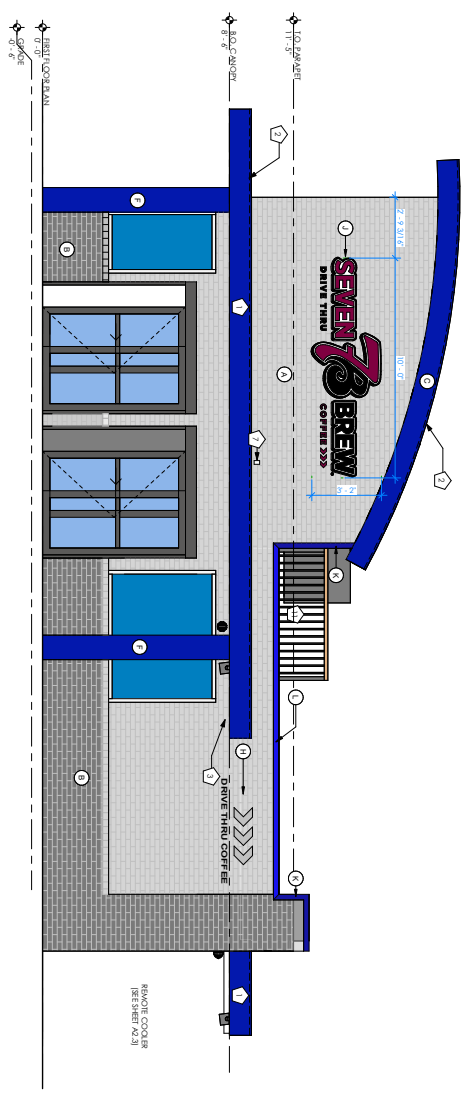
REGISTERED PROFESSIONAL ARCHITECT  
STATE OF ARKANSAS

**SEVEN 7 BREW**  
DRIVE THRU COFFEE

Boa of Adjustment  
March 2, 2026  
Item 2  
BOA-2026-0001 (SEVEN BREW)  
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**2 SOUTH EXTERIOR ELEVATION**  
3/8" = 1'-0"



**1 NORTH EXTERIOR ELEVATION**  
3/8" = 1'-0"

**EXTERIOR MATERIALS LEGEND**

MARK	DESCRIPTION
A	2" X 8" BRICK (R-2)
B	2" X 8" BRICK (R-2)
C	2" X 8" BRICK (R-2)
D	2" X 8" BRICK (R-2)
E	2" X 8" BRICK (R-2)
F	2" X 8" BRICK (R-2)
G	2" X 8" BRICK (R-2)
H	2" X 8" BRICK (R-2)
I	2" X 8" BRICK (R-2)
J	2" X 8" BRICK (R-2)
K	2" X 8" BRICK (R-2)
L	2" X 8" BRICK (R-2)
M	2" X 8" BRICK (R-2)

**EXTERIOR ELEVATION KEYNOTES**

1. REFER TO GENERAL NOTES AND SPECIFICATIONS FOR ALL MATERIALS AND FINISHES.
2. REFER TO GENERAL NOTES AND SPECIFICATIONS FOR ALL MATERIALS AND FINISHES.
3. REFER TO GENERAL NOTES AND SPECIFICATIONS FOR ALL MATERIALS AND FINISHES.
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7. REFER TO GENERAL NOTES AND SPECIFICATIONS FOR ALL MATERIALS AND FINISHES.
8. REFER TO GENERAL NOTES AND SPECIFICATIONS FOR ALL MATERIALS AND FINISHES.
9. REFER TO GENERAL NOTES AND SPECIFICATIONS FOR ALL MATERIALS AND FINISHES.
10. REFER TO GENERAL NOTES AND SPECIFICATIONS FOR ALL MATERIALS AND FINISHES.
11. REFER TO GENERAL NOTES AND SPECIFICATIONS FOR ALL MATERIALS AND FINISHES.
12. REFER TO GENERAL NOTES AND SPECIFICATIONS FOR ALL MATERIALS AND FINISHES.
13. REFER TO GENERAL NOTES AND SPECIFICATIONS FOR ALL MATERIALS AND FINISHES.

**EXTERIOR ELEVATION GENERAL NOTES**

1. COMPANET, LOCATION AND POWER REQUIREMENTS OF ALL ELECTRICAL EQUIPMENT SHALL BE SHOWN ON SEPARATE ELECTRICAL DRAWINGS.
2. BRICK MANUFACTURER, TYPE AND COLOR ARE SUBJECT TO CHANGE. CONSULT MATERIAL SUPPLIER FOR CURRENT INFORMATION.

**PRE-FABRICATED BUILDING - SHEETS**

THIS BUILDING IS BEING FABRICATED IN A CONTROLLED ENVIRONMENT AND THE MANUFACTURER SHALL BE RESPONSIBLE FOR THE QUALITY OF THE FABRICATION. THE CONTRACTOR SHALL VERIFY THE FABRICATION QUALITY AND CONSTRUCTION METHODS AND PROCEDURES.

**7 BREW DRIVE-THRU**

WEDINGTON DRIVE & N  
GOLF CLUB DRIVE  
FAYETTEVILLE AR 72704

No.	Description	Date

**A2.1**  
EXTERIOR  
ELEVATIONS

Project #: 9116/2025-457-56 PM  
Date: 9/16/2025 4:57:56 PM

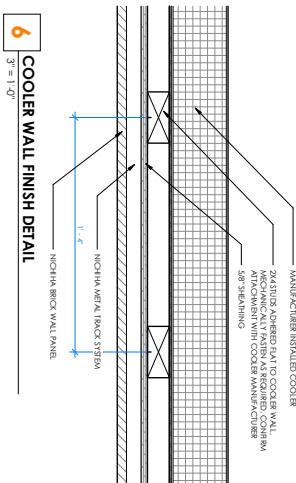
State of Arkansas  
Department of Transportation  
March 2, 2026  
Item 2  
BOA-2026-0001 (SEVEN BREW)  
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REMOTE COOLER GENERAL NOTES

1. LOCATION OF REMOTE COOLER MAY VARY COORDINATE LOCATION WITH CIVIL ENGINEER DRAWINGS.
2. ALL DRAWINGS ARE BASED OFF 4.5 COOLER - COMB 28-Z 4.5 9' 1/2" X 7' 6" AND MANUFACTURER'S PHYSICAL COOLER TYPE AND SPECIFICATIONS. VERIFY WITH REMOTE COOLER MANUFACTURER.

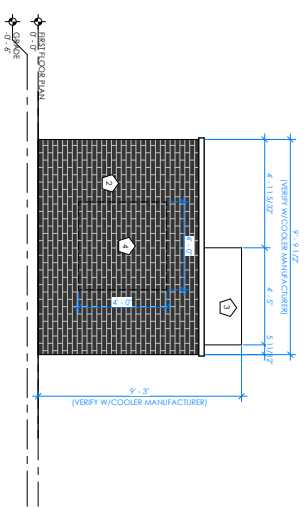
REMOTE COOLER KENNOIS

NO.	DESCRIPTION
1	VERIFY COOLER VENT DIMENSIONS W/ COOLER MANUFACTURER
2	VERIFY ARCHITECTURAL WALL FINISH F-21 ON 0.6" METAL FRAMING ON 2X4 FRAMING OVER COOLER INSULATED
3	VERIFY COOLER CONTAINER
4	VERIFY COOLER FINISH OR COOLER MANU. CENTER ON COOLER
5	VERIFY COOLER DOOR
6	VERIFY COOLER WALL FINISH - 19.25" X 6" X 8" BRICK - 6" CHAMFER
7	VERIFY COOLER WALL FINISH - 19.25" X 6" X 8" BRICK - 6" CHAMFER

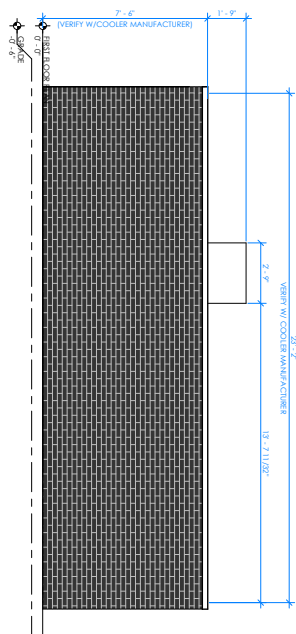


6 COOLER WALL FINISH DETAIL  
3/8" = 1'-0"

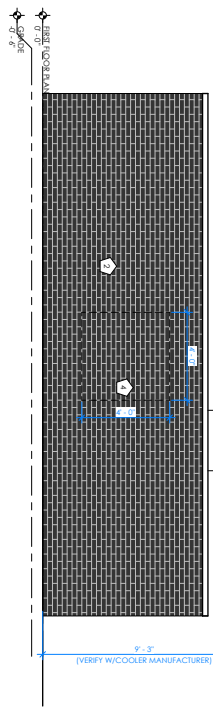
5 REMOTE COOLER - WEST ELEVATION  
3/8" = 1'-0"



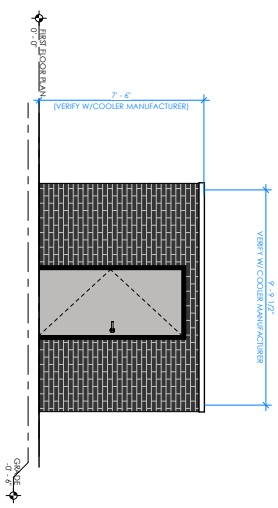
3 REMOTE COOLER - SOUTH SIDE ELEVATION  
3/8" = 1'-0"



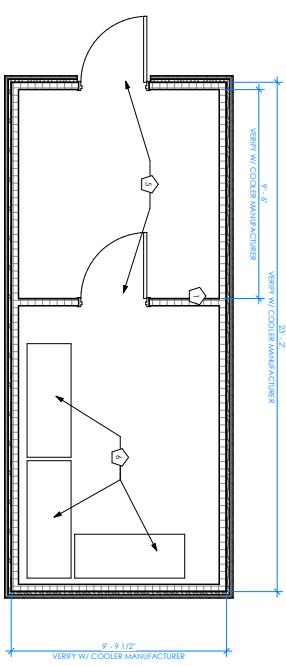
4 REMOTE COOLER - NORTH SIDE ELEVATION  
3/8" = 1'-0"



2 REMOTE COOLER - FRONT EAST ELEVATION  
3/8" = 1'-0"



1 REMOTE COOLER PLAN  
3/8" = 1'-0"



7 BREW DRIVE-THRU

WEDINGTON DRIVE & N GOLF CLUB  
DRIVE FAYETTEVILLE AR 72704

No.	Description	Date

A2.3  
REMOTE COOLER  
ELEVATION AND  
FINISHES

project #: 9116/2025.506.08 PM  
date: 9/16/2025 5:06:08 PM

REGISTERED ARCHITECT  
MICHAEL B. HARRISON  
No. 14459  
EXPIRES 12/31/2026  
STATE OF ARKANSAS

SEVEN 73 BREW  
DRIVE THRU COFFEE

City of Adjustment  
March 2, 2026  
Item 2  
BOA-2026-0001 (SEVEN BREW)  
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